



**Houston Community College System**

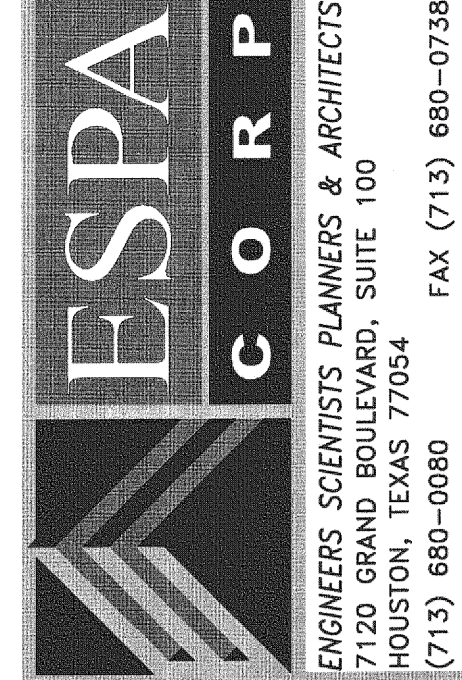
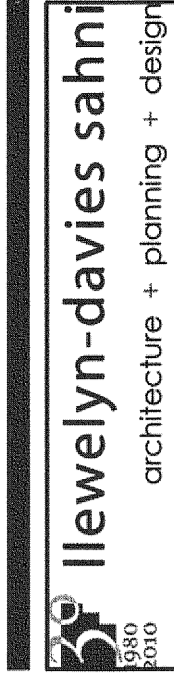
HCCS-Construction Department  
3100 Main, 12th Floor  
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3/26/2012

ISSUE:

ISSUED FOR BID AND CONSTRUCTION 3/26/2012  
ADDENDUM 1 3/26/2012



**Southeast Campus Infrastructure**

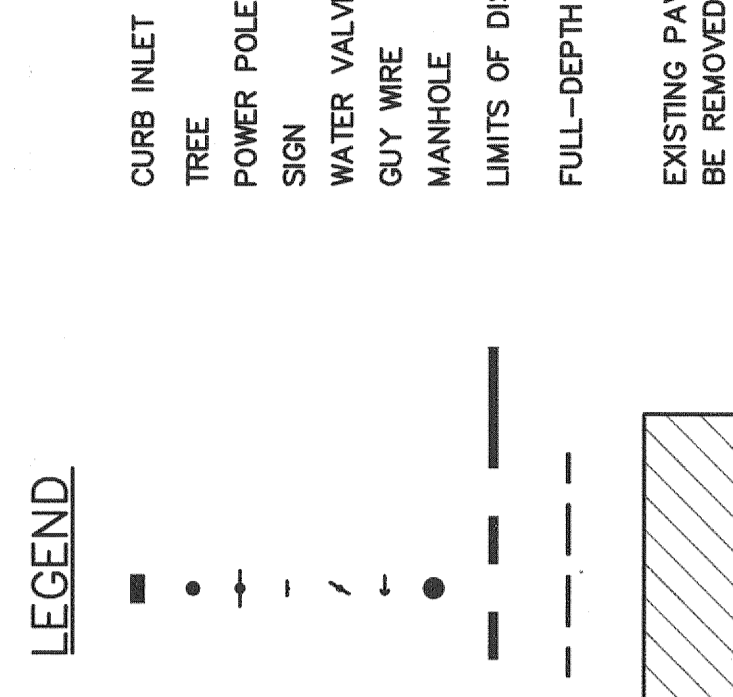
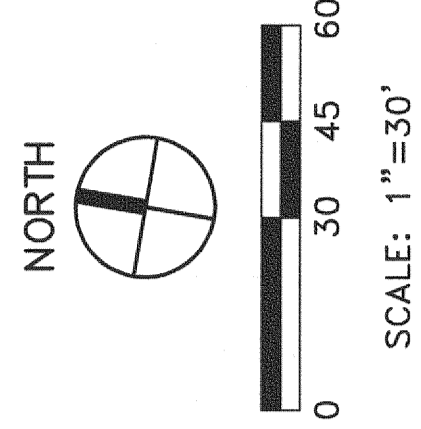
6815 Rustic Ln.  
Houston, TX 77087

HCCS Project No.:  
AE Project No.:  
Drawn By:  
Checked By:  
CAD File:

**DEMOLITION PLAN**

Scale:

**C-4.00**

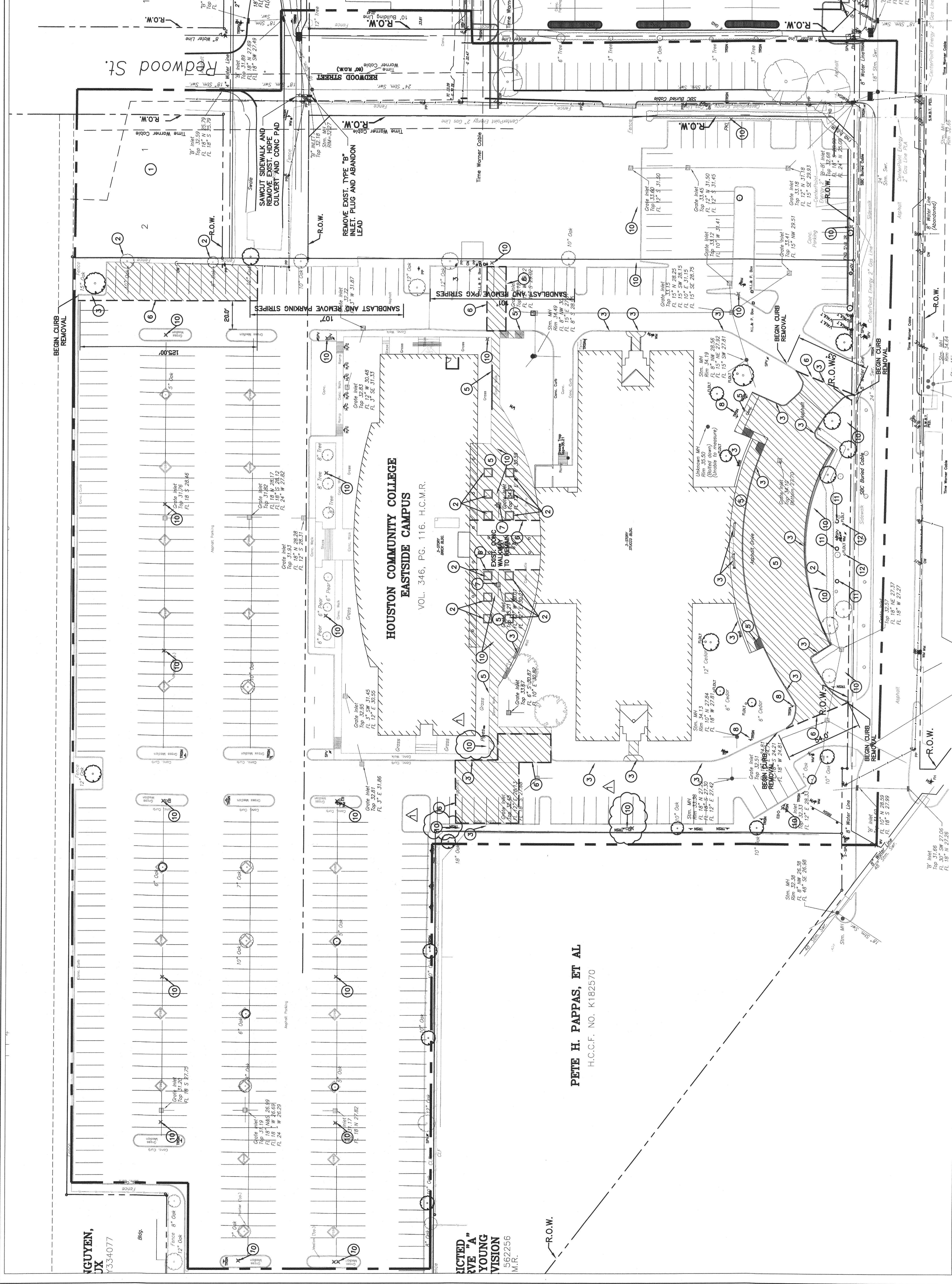


**LEGEND**

**NOTE:** ANY REMOVAL OF EXISTING SUBSURFACE STRUCTURES (FOUNDATION), TREE ROOTS, AND OTHER UTILITIES SHALL BE AS SHOWN ON THE GEOTECHNICAL ENGINEER'S REPORT.

- DEMOLITION KEY NOTES**
1. EXCAVATE AND REMOVE GRAVEL PARKING LOT.
  2. REMOVE TREES AND HEDGES WITH COMPLETE ROOT STRUCTURE TO BELOW 6'-0".
  3. REMOVE MISCELLANEOUS CONCRETE SLABS, PORCHES, CURBS & REMAINING WALLS.
  4. REMOVE ALL FENCING AS IT OCCURS ON SITE EXCEPT AS DIRECTED BY ARCHITECT. REMOVE ALL ASSOCIATED CONCRETE FOOTINGS.
  5. REMOVE INDICATED DRIVEWAYS, PARKING LOTS, RAMPS, AND SIDEWALKS. PROVIDE A STRAIGHT AND SMOOTH EDGE AT THE STREET.
  6. SAWCUT PAVEMENT FULL DEPTH TO THE LIMITS SHOWN.
  7. REMOVE EXISTING AREA INLETS AND PIPE.
  8. REMOVE EXISTING TRAFFIC SIGN (AND ANY OTHERS SIGNS).
  9. REMOVE MISCELLANEOUS IMPROVEMENTS TO MAN MADE GRADE.
  10. REMOVE EXISTING DOWN GUYS, UTILITY POLES, AND LIGHT POLE, AND DEMOLISH CONCRETE BASE. CUT AND CAP ELECTRICAL IN PLACE. BACKFILL HOLE AND COMPACT. PATCH PAVEMENT OR SOD AS REQUIRED.
  11. REMOVE EXISTING FLAG POLE AND BASE.
  12. DEMOLISH EXISTING FLOOD LIGHT AND CUT AND CAP ELECTRICAL IN PLACE.

- GENERAL NOTES**
1. CONTRACTOR SHALL COMPLY WITH ALL CITY REGULATIONS AND SECURE NECESSARY PERMITS REQUIRED BY CITY OF HOUSTON FOR DEMOLITION AND REMOVAL OF BUILDINGS.
  2. CONTRACTOR SHALL PROTECT ALL ADJACENT STREETS FROM DAMAGE DUE TO HEAVY EQUIPMENT OR JOB RELATED VEHICLES.
  3. CONTRACTOR SHALL REMOVE ALL MAN-MADE ITEMS (DEBRIS AND GARBAGE) FROM THE COMPLETED DEMOLITION SITE.
  4. PROVIDE PEDESTRIAN PROTECTION AS REQUIRED BY THE CITY OF HOUSTON.
  5. WATER ENTRAPMENTS SHALL BE ALLOWED.
  6. DRAINAGE DITCHES OR SWALES AT THE STREETS SHALL HAVE THE FLOWLINES AND SLOPES OF SHOULDER MAINTAINED TO PROVIDE FLOW OR STORM DRAINAGE. REMOVE ANY TRASH OR DEBRIS.
  7. THE LIMITS OF DEMOLITION ARE INDICATED ON THIS SHEET. THE CONTRACTOR SHALL END PAVEMENT AND CURB REMOVAL AT THE LIMITS OF DEMOLITION LINE. SAW-CUTTING METHOD SHALL BE USED AT THESE LOCATIONS.
  8. THE DEMOLITION CONTRACTOR SHALL SUBMIT CONSTRUCTION/DEMOLITION SCHEDULE TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY ONCE DEMOLITION STARTS.



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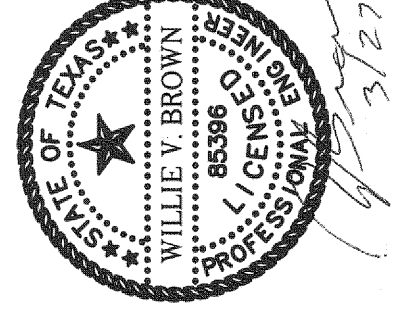
**PETE H. PAPPAS, ET AL**  
H.C.C.F. NO. K1B2570

**RESTRICTED VIEW "A" YOUNG VISION**  
M.R. 562256



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ADDENDUM 1 - 3/26/2012

**llewelyn-davies sahani**  
architecture + planning + design

**ESPA CORP**  
ENGINEERS, SCIENTISTS, PLANNERS & ARCHITECTS  
7120 GRAND BOULEVARD, SUITE 100  
HOUSTON, TEXAS 77054  
(713) 680-0080 FAX (713) 680-0738  
TYPE FIRM NO. F-002518

## Southeast Campus Infrastructure

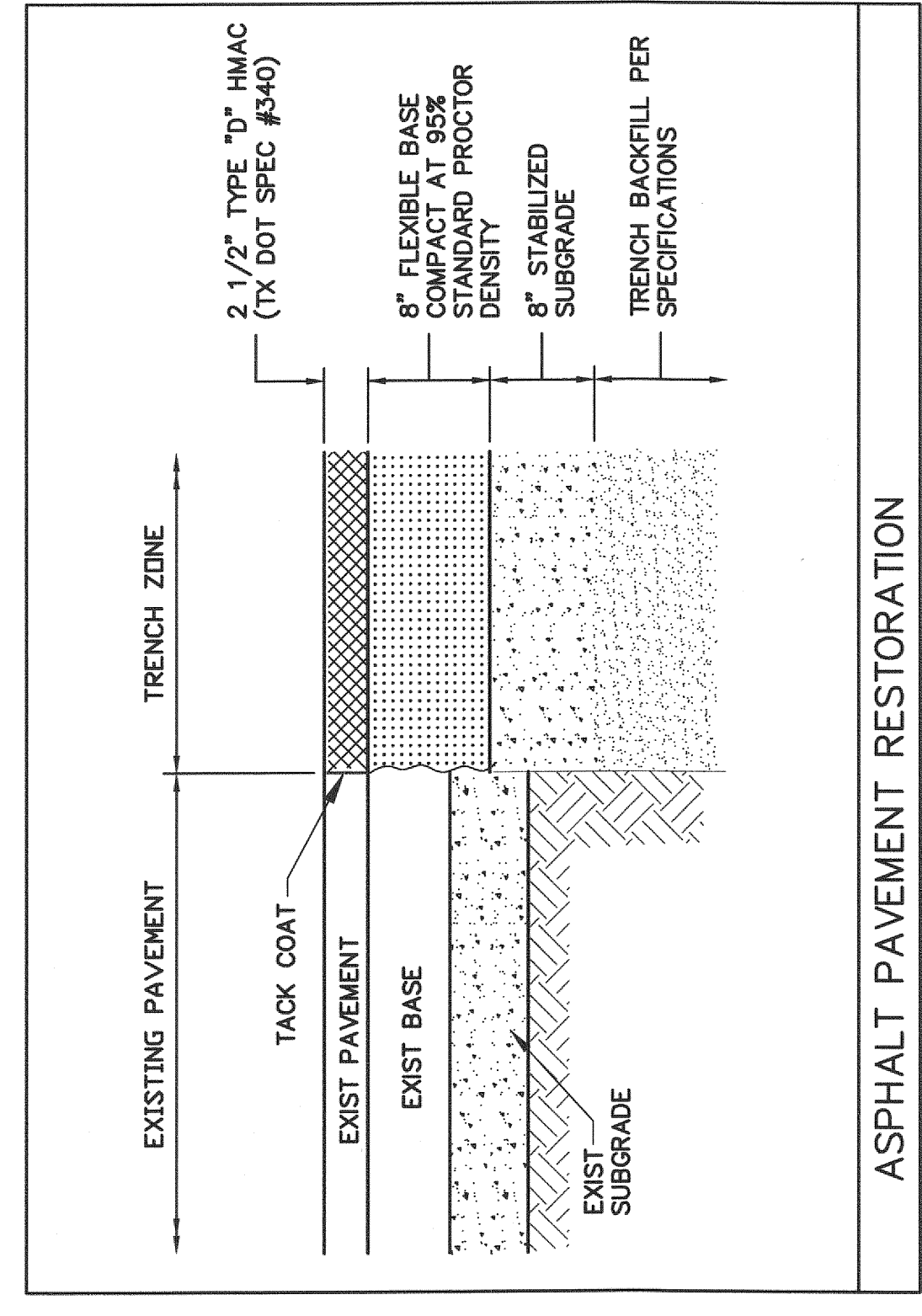
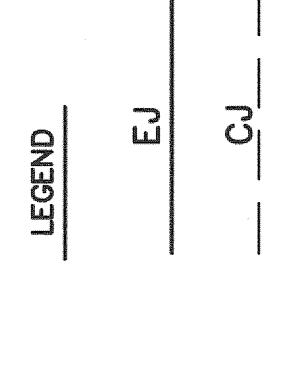
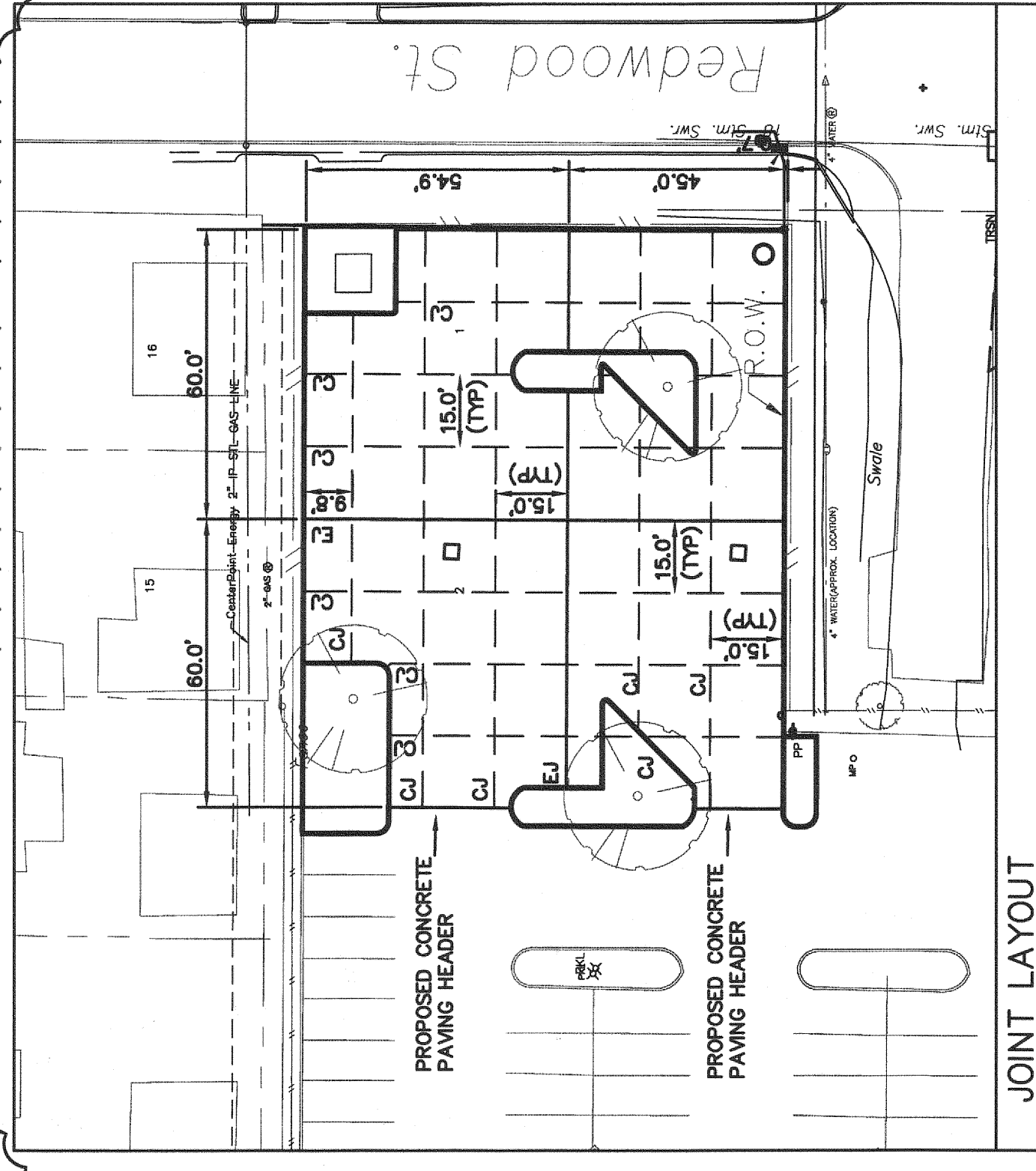
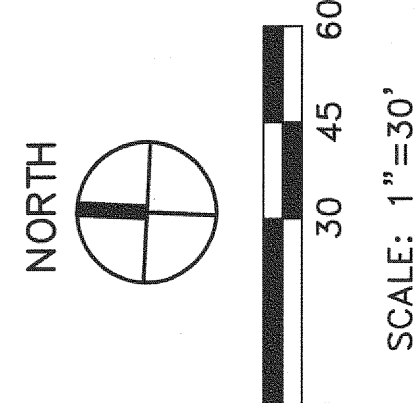
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### CIVIL SITE PLAN

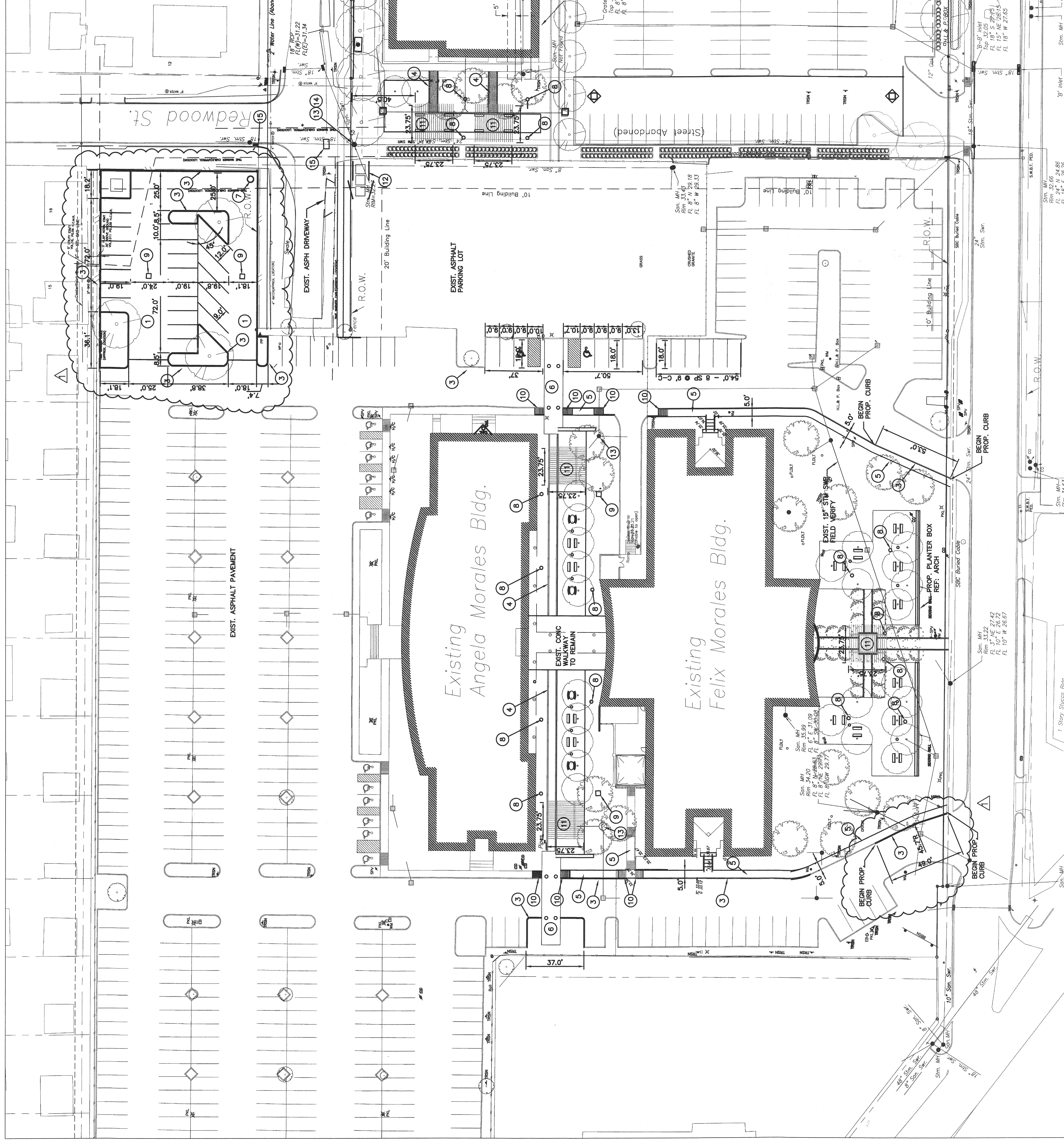
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#### NOTED NOTES

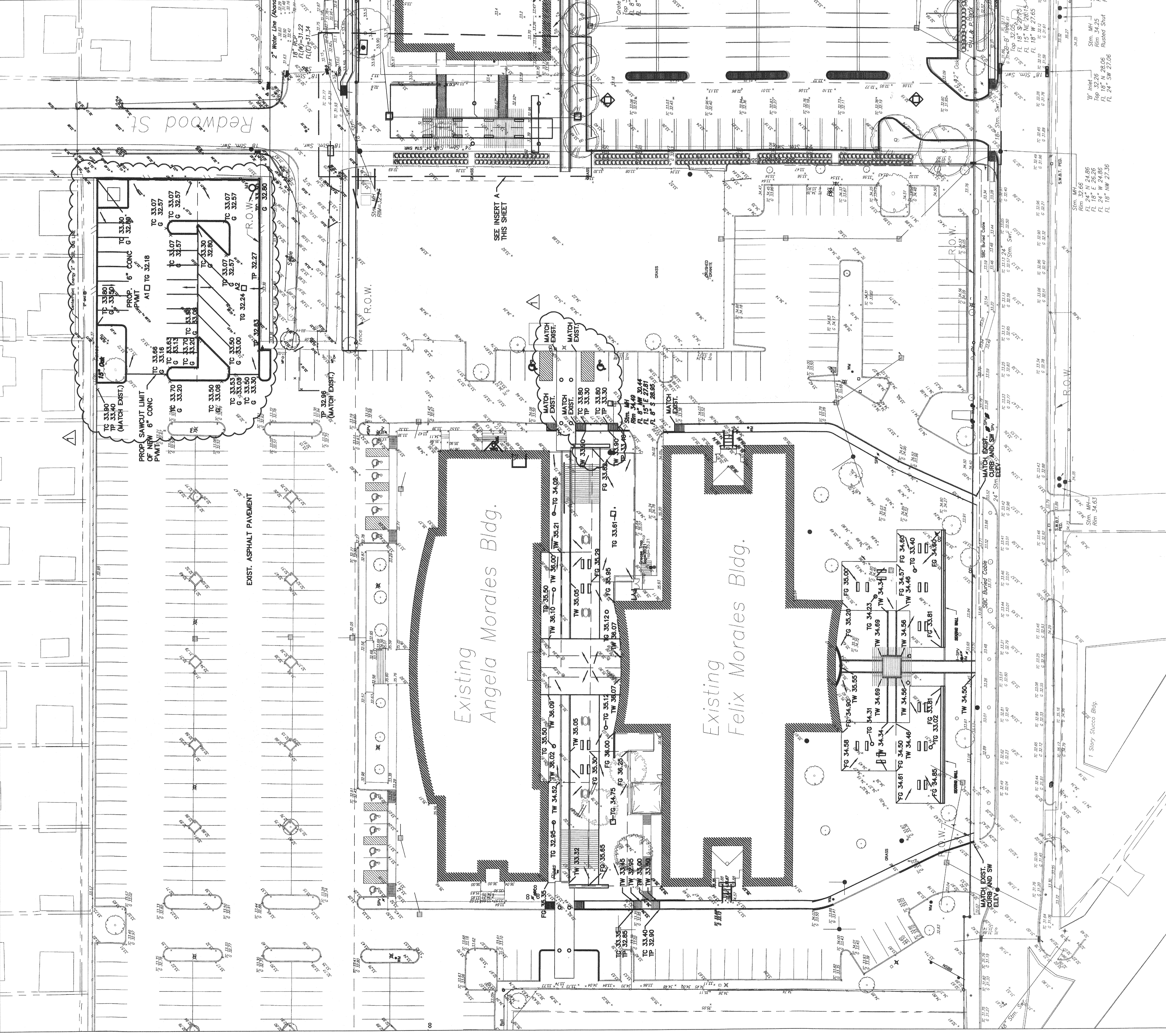
1. PROP. 6" REINFORCED CONCRETE PAVEMENT (1/C-9.00)
2. CRUSHED GRAVEL SURFACE (REF: ARCH)
3. 6" CONCRETE CURB (1/C-9.00)
4. PROP. BRICK PAVEMENT WALKWAY (5/C-9.00)
5. PROP. 4-1/2" CONC SIDEWALK (WIDTH SHOWN)
6. PROP. BRICK PAVEMENT CROSSWALK (9/C-9.00)
7. PROP. STORM SEWER MANHOLE (A3/C-10.00)
8. PROP. HANGOR NYLOPLAST DRAIN BASIN
9. PROP. AREA INLET
10. PROP. HANDICAP RAMP (7/C-9.00)
11. PROP. PAVILION (7/AS2.01)
12. PROP. DUMPSTER ENCLOSURE (2/AS6.04)
13. EXIST. STORM SEWER MANHOLE
14. REPLACE TOP COVER WITH GRATE
15. PROP. TYPE "B-B" INLET (64/C-10.00)



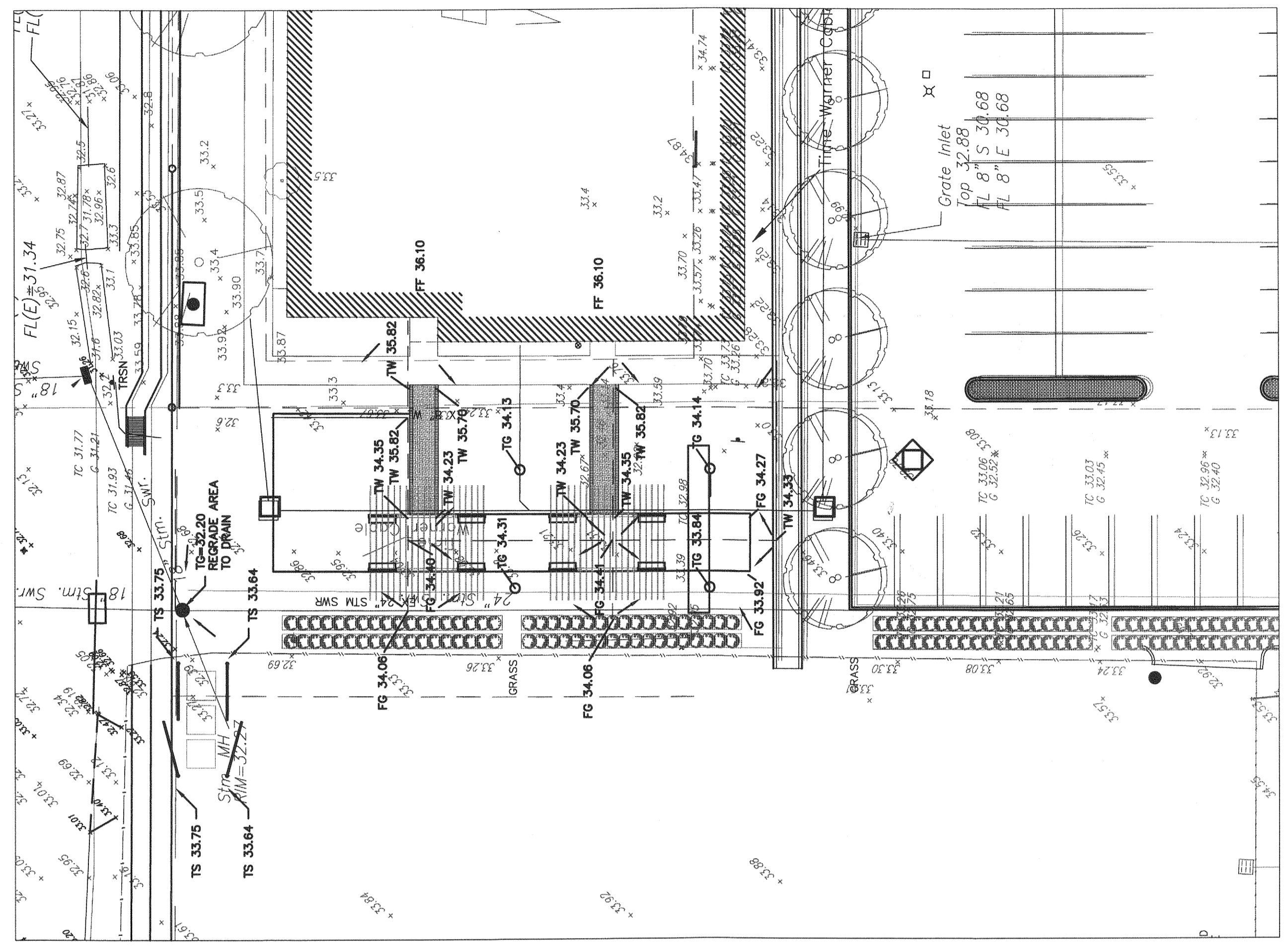
**QUANTITIES**

SIDEWALKS	1011 LINEAR FEET
PAVEMENT	11183 SQUARE FEET
CURBS	691 LINEAR FEET
DRIVEWAY	0

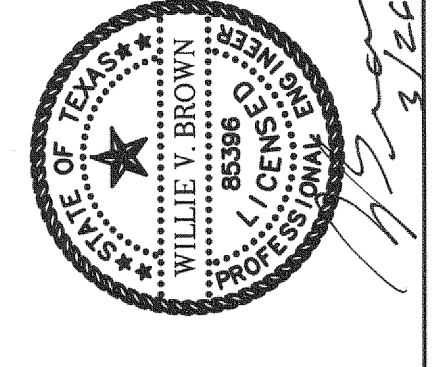
- NOTE:**
1. ALL PARKING LOT STRIPING SHALL BE 4" WHITE SOLID PAVEMENT MARKING UNLESS INDICATED OTHERWISE.
  2. UNLESS NOTED OTHERWISE, ALL CURBS WITHIN THE PROPERTY LINE SHALL BE STANDARD 6" CURBS PER DETAIL 1, SHEET C-9.00.



- LEGEND**
- RIDGE LINE
  - PROPOSED AREA INLET
  - PROPOSED STORM SEWER MANHOLE
  - SHEET FLOW DIRECTION



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 architecture + planning + design

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**GRADING PLAN**

Scale:

**C-6.00**

